



**DEVELOPMENT PERMIT NO. DP001206**

**KULWULTON DEVELOPMENTS LTD**  
Name of Owner(s) of Land (Permittee)

**1534 EXTENSION ROAD**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 1, SECTION 18, RANGE 4, CRANBERRY DISTRICT, PLAN 15503,  
EXCEPT PLAN EPP98272  
PID No. 004-152-913**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**  
**Schedule B Site Plan**  
**Schedule C Building Elevations**  
**Schedule D Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.10.2 Fence Height* – to increase the maximum allowable fence height within the front yard setback from 1.2m to 2.8m for the proposed decorative arbour.

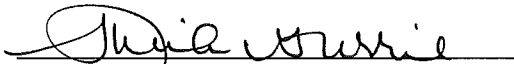
The City of Nanaimo "Off-Street Parking Regulations Bylaw No. 2018 No. 7266" is varied as follows:

1. *Section 4.3 'Small Car Spaces'* – to increase the maximum allowable percentage of small car parking spaces from 40% to 77%.

### CONDITIONS OF PERMIT

1. The subject property is developed in substantial compliance with the Site Plan prepared by Boehm Construction Ltd., received 2021-OCT-04, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations prepared by Boehm Construction Ltd., received 2021-AUG-27 and 2021-OCT-04, as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by Kate Stefiuk Studio, received 2021-SEP-15, as shown on Schedule D.

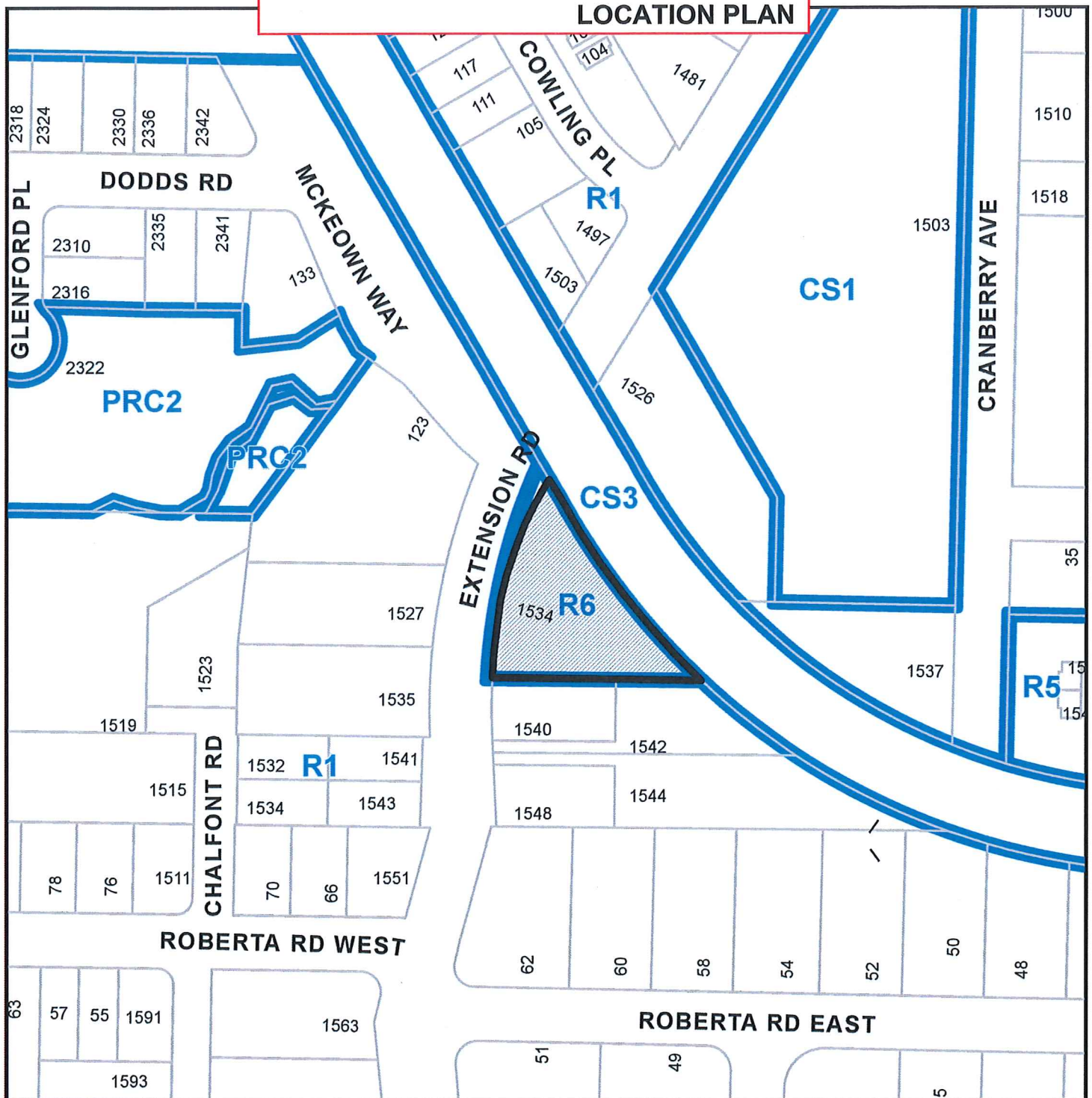
AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 1ST DAY OF NOVEMBER, 2021.

  
Corporate Officer

  
Date

Development Permit No. DP001206      Schedule A  
1534 Extension Road

**LOCATION PLAN**



**DEVELOPMENT PERMIT NO. DP001206**

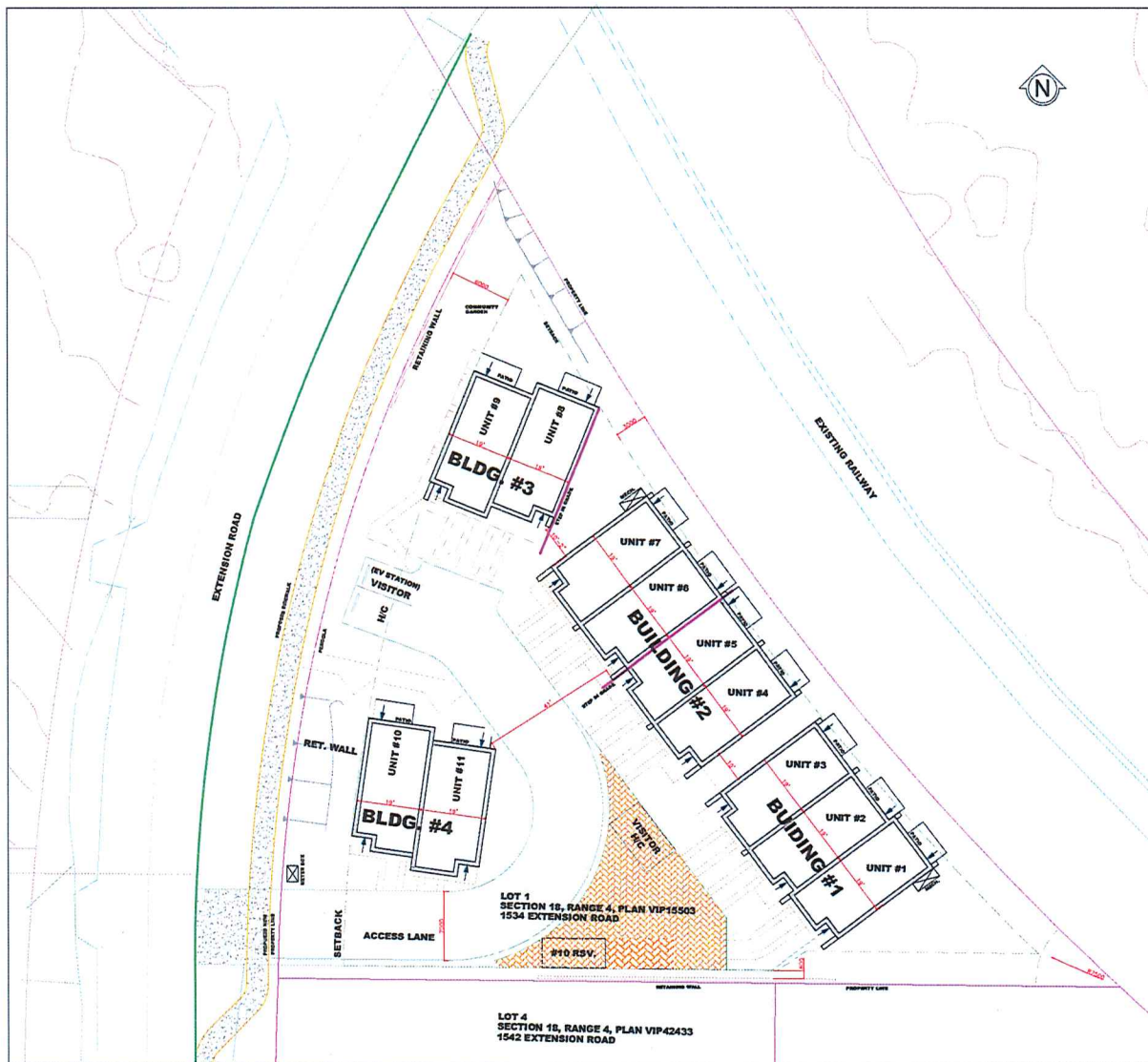
CIVIC: 1534 EXTENSION ROAD

LEGAL: LOT 1, SECTION 18, RANGE 4, CRANBERRY DISTRICT, PLAN 15503,  
EXCEPT PLAN EPP98272



**Subject Property**





**SITE PLAN - BUILDING LAYOUT - SCALE: 1/16" = 1'-0"**

**SITE DATA:**

ZONED: R8  
SITE AREA = 2,924 sq.m  
COVERAGE PERMITTED = 40% (1,170 sq.m)  
TYPICAL UNIT AREA = 65.87 (x 11) = 724.6 sq.m  
MECHANICAL = 0.11 sq.m  
TOTAL AREA: 733.7 sq.m  
COVERAGE ACTUAL = 25%

**LIVABLE AREA:**

UNIT = 128.85 sq.m (1,387 sq.ft.)  
GARAGE = 19.04sq.m (205 sq.ft.)

**FLOOR AREA RATIO:**

FLOOR AREA = 1626.79 sq.m.  
LOT AREA = 2924 sq.m.  
ACTUAL F.A.R. = 0.56  
(ALLOWABLE F.A.R. = 0.65)

**BUILDING HEIGHTS:**

BUILDING 1 FRONT = 7.01m (23') REAR = 9.785m (32'-1 1/4")  
BUILDING 1 AVERAGE HEIGHT = 8.398m (27'-6 5/8")  
BUILDING 2 FRONT = 7.01m (23') REAR = 9.785m (32'-1 1/4")  
BUILDING 2 AVERAGE HEIGHT = 8.398m (27'-6 5/8")  
BUILDING 3 FRONT = 7.01m (23') REAR = 9.785m (32'-1 1/4")  
BUILDING 3 AVERAGE HEIGHT = 8.398m (27'-6 5/8")  
BUILDING 4 FRONT = 6.194m (20'-4") REAR = 6.973m (22'-9")  
BUILDING 4 = AVERAGE HEIGHT = 7.584m (24'-10 1/2")

**PARKING:**

RE: BYLAW 7266 7.1 PG. 11 CITY OF NANAIMO  
AREA 1 = 22 REQUIRED (DESIGNATED)  
11 GARAGES - 10'-6"x19'-6" (9'-0"x19'-0")  
9 DRIVEWAYS - 8'-6"x17'-6" (8'-2"x15'-0")  
2 DESIGNATED - 9'-0"x19'-0" (9'-0"x19'-0")  
22 TOTAL PROVIDED

**ACCESSIBLE PARKING**


RE: BYLAW 7266 7.5 PG 18 CITY OF NANAIMO  
21-100 = +2 REQUIRED  
2 ACCESSIBLE STALLS PROVIDED (12'-2"x18'-6")

**VISITOR PARKING**

+1 C/W EV CHARGING STATION (9'-0"x18'-6")

**PARKING SUMMARY**

(22 REQUIRED)  
22 DESIGNATED  
2 ACCESSIBLE  
1 VISITOR  
TOTAL ON SITE PARKING = 25

General Notes		
1	DP SUBMISSION	8/31
No.	Revision/Issue	Date
 BOEHM CONSTRUCTION 1610 NORTHFIELD ROAD, NANAIMO, BC V8S 5A7 www.boehmconstruction.ca 250-667-7116		
Project Name and Address <b>KULWULTON MULTI FAMILY</b> 1534 EXTENSION ROAD NANAIMO, BC		
Project	SITE PLAN	Sheet
Date	31AUG2020	A1
Scale	1/16" = 1'-0"	

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2021-OCT-04

**BUILDING ELEVATIONS**



**FRONT ELEVATION - TRIPLEX - BUILDING 1**

SCALE = 1/4" = 1'-0"



**REAR ELEVATION - TRIPLEX - BUILDING 1**

SCALE = 1/4" = 1'-0"

General Notes

MATERIAL LIST

- 1 ASPHALT ROOFING
- 2 COMBED FACE FASCIA
- 3 TRUSS ASSEMBLY BEYOND
- 4 ALUM. GUTTER & DOWNSPOUT
- 5 VINYL WINDOW
- 6 VERTICAL VINYL SIDING B&B
- 7 STEEL FRAMED VIGNETTE
- 8 ALUMINUM RAILING
- 9 TEMPERED GLASS
- 10 COMBED FACE TRIM
- 11 CEDAR HORIZONTAL LAP SIDING
- 12 INSULATED GARAGE DOOR
- 13 HARDIE BOARD PANEL
- 14 EXPOSED CONCRETE FOUNDATION

1	DP SUBMISSION	8/31
No.	Revision/Issue	Date



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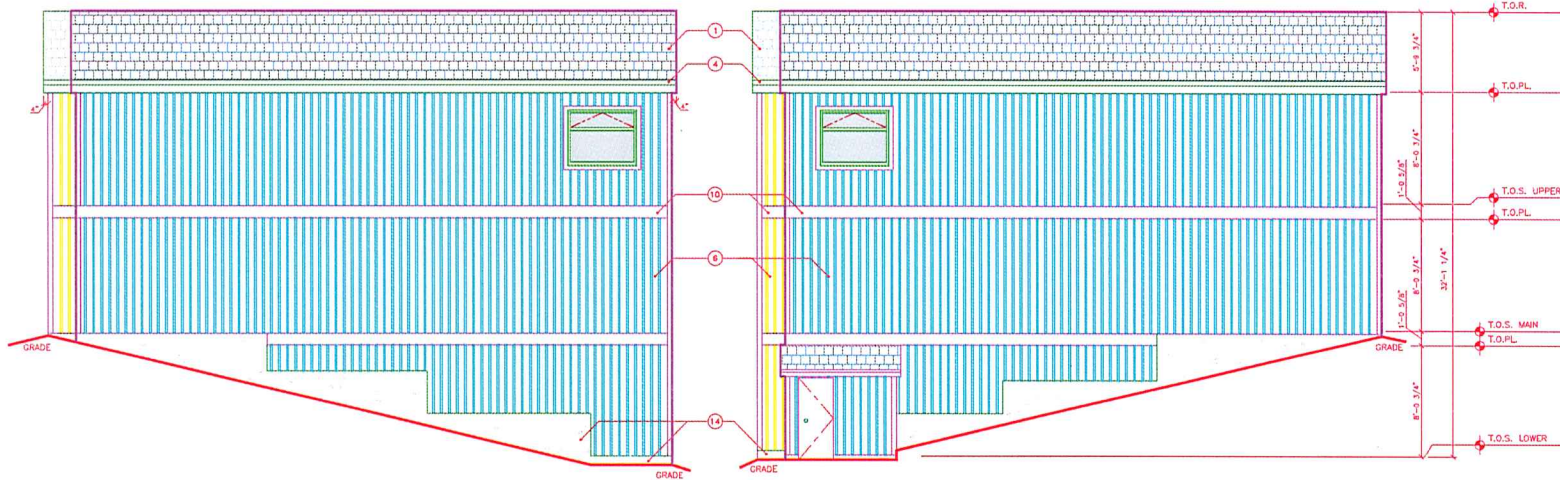
Project Name and Address

**KULWULTON  
 MULTI FAMILY**  
 1534 EXTENSION ROAD  
 NANAIMO, BC

Project	BUILDING 1 ELEVATIONS	Sheet	
Date	31AUG2020		A3.1-1
Scale	1/4" = 1' 0"		

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 2021-OCT-04





**SIDE ELEVATION - TRIPLEX - BUILDING 1**

SCALE = 1/4" = 1'-0"

**SIDE ELEVATION - TRIPLEX - BUILDING 1**

SCALE = 1/4" = 1'-0"

General Notes

MATERIAL LIST

- 1 ASPHALT ROOFING
- 2 COMBED FACE FASCIA
- 3 TRUSS ASSEMBLY BEYOND
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- 8 ALUMINUM RAILING
- 9 TEMPERED GLASS
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- 11 CEDAR HORIZONTAL LAP SIDING
- 12 INSULATED GARAGE DOOR
- 13 HARDIE BOARD PANEL
- 14 EXPOSED CONCRETE FOUNDATION

1	DP SUBMISSION	8/31
No.	Revision/Issue	Date

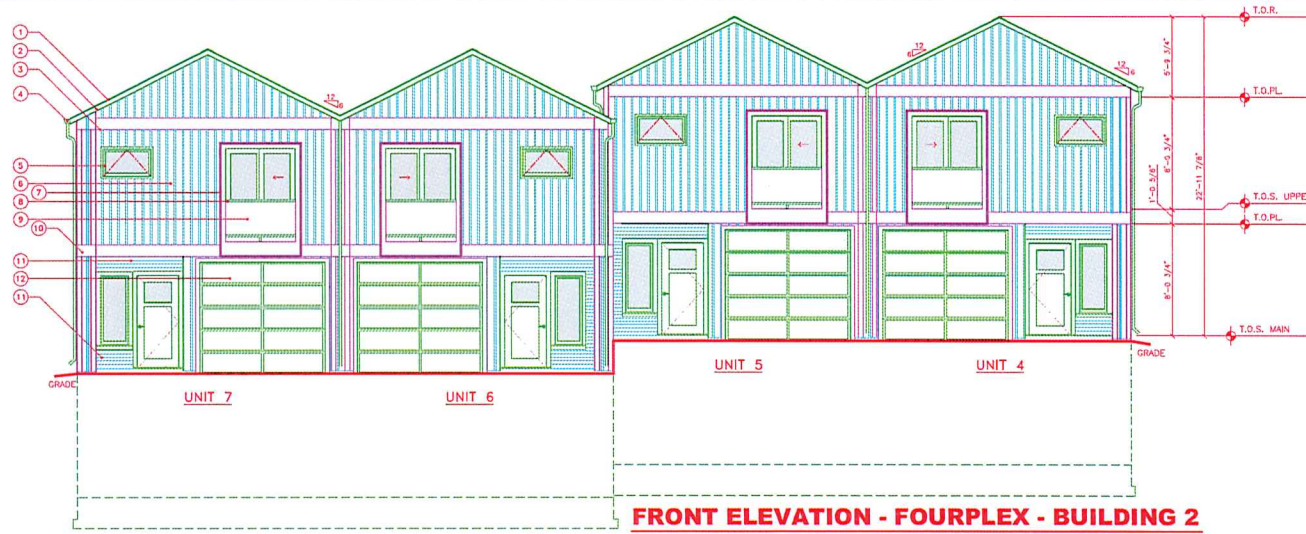


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250-867-7116

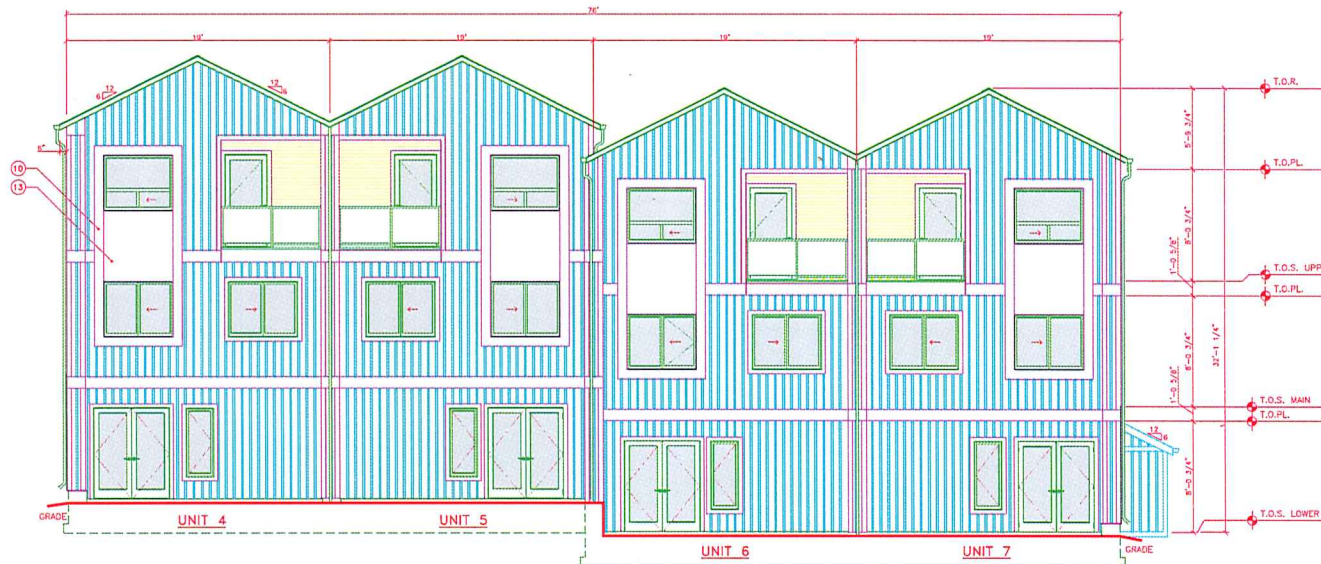
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**KULWULTON  
MULTI FAMILY**  
1534 EXTENSION ROAD  
NANAIMO, BC

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2021-OCT-04



SCALE = 1/4" = 1'-0"



SCALE = 1/4" = 1'-0"

**General Notes**

**MATERIAL LIST**

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- 2 COMBED FACE FASCIA
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- 5 VINYL WINDOW
- 6 VERTICAL VINYL SIDING B&B
- 7 STEEL FRAMED VIGNETTE
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- 12 INSULATED GARAGE DOOR
- 13 HARDIE BOARD PANEL
- 14 EXPOSED CONCRETE FOUNDATION

1	DP SUBMISSION	8/31
No.	Revision/Issue	Date

**Boehm**  
CONSTRUCTION

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250-867-7116

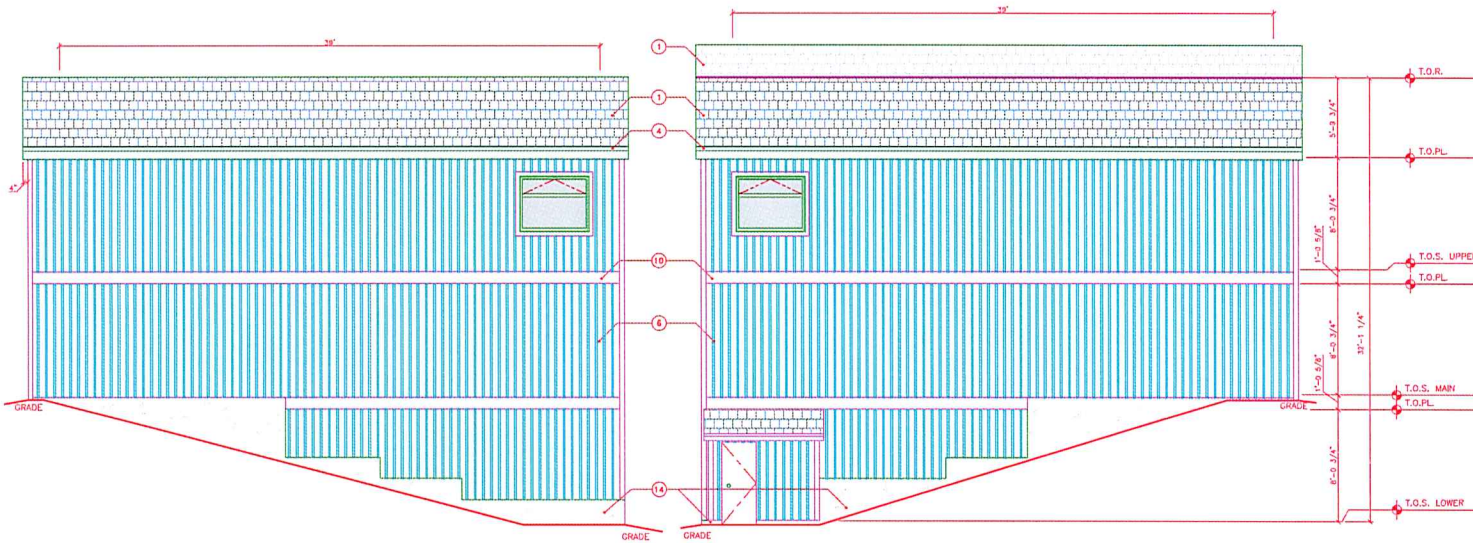
Project Name and Address  
**KULWULTON  
MULTI FAMILY**  
1534 EXTENSION ROAD  
NANAIMO, BC

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DP 1206  
2021-OCT-04  
COURTNEY PERRY

DRAFTING: MWALTHER 31AUG2020 A3-2 Building 2 Elevations Front Rear.dwg





**SIDE ELEVATION - FOURPLEX - BUILDING 2**


**SIDE ELEVATION - FOURPLEX - BUILDING 2**

**General Notes**

**MATERIAL LIST**

- 1 ASPHALT ROOFING
- 2 COMBED FACE FASCIA
- 3 TRUSS ASSEMBLY BEYOND
- 4 ALUM. GUTTER & DOWNSPOUT
- 5 VINYL WINDOW
- 6 VERTICAL VINYL SIDING B&B
- 7 STEEL FRAMED VIGNETTE
- 8 ALUMINUM RAILING
- 9 TEMPERED GLASS
- 10 COMBED FACE TRIM
- 11 CEDAR HORIZONTAL LAP SIDING
- 12 INSULATED GARAGE DOOR
- 13 HARDIE BOARD PANEL
- 14 EXPOSED CONCRETE FOUNDATION

1	DP SUBMISSION	8/31
No.	Revision/Issue	Date



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Project Name and Address

**KULWULTON MULTI FAMILY**  
 1534 EXTENSION ROAD  
 NANAIMO, BC

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 2021-OCT-04

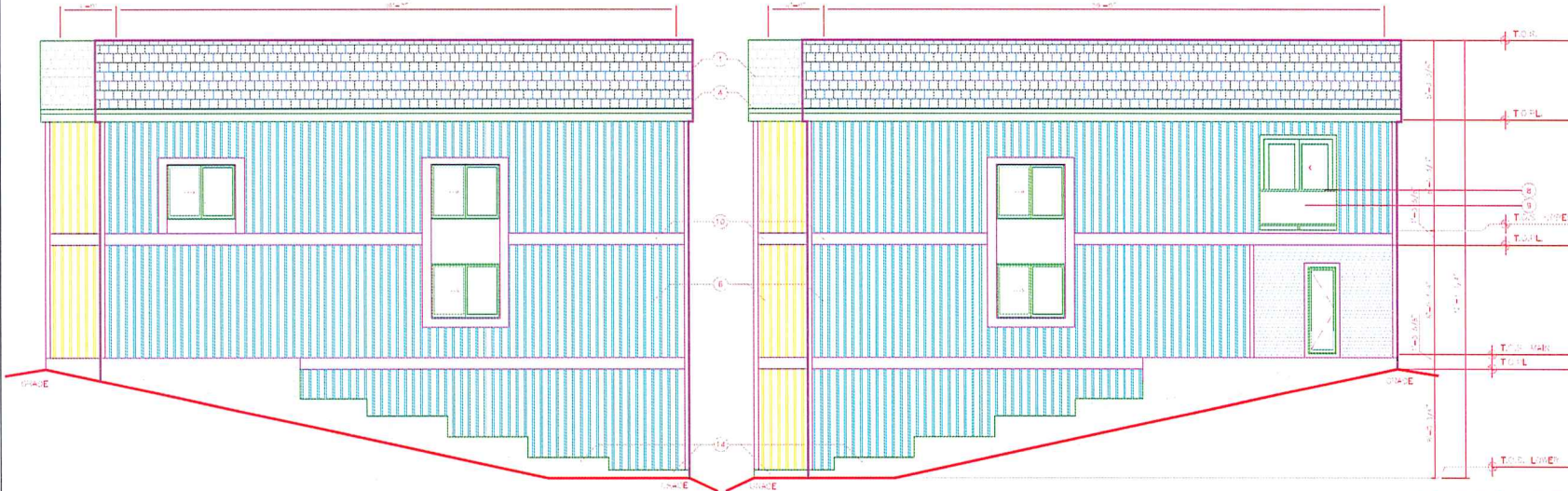




**FRONT ELEVATION - DUPLEX - BUILDING 3**



**REAR ELEVATION - DUPLEX - BUILDING 3**



**SIDE ELEVATIONS - DUPLEX - BUILDING 3**

- Material List
- 1 ASPHALT ROOFING
  - 2 COMBED FACE FASCIA
  - 3 TRUSS ASSEMBLY BEYOND
  - 4 ALUM. GUTTER & DOWNSPOUT
  - 5 VINYL WINDOW
  - 6 VERTICAL VINYL SIDING 4x8
  - 7 STEEL FRAMES DOVETTE
  - 8 ALUMINUM RAILING
  - 9 TEMPERED GLASS
  - 10 COMBED FACE TRIM
  - 11 CEDAR HORIZONTAL LAP SIDING
  - 12 INSULATED GARAGE DOOR
  - 13 HARD BOARD PANEL
  - 14 EXPOSED CONCRETE FOUNDATION

1	DP SUBMISSION	8/31
2020	Boehm/Boehm	Boehm

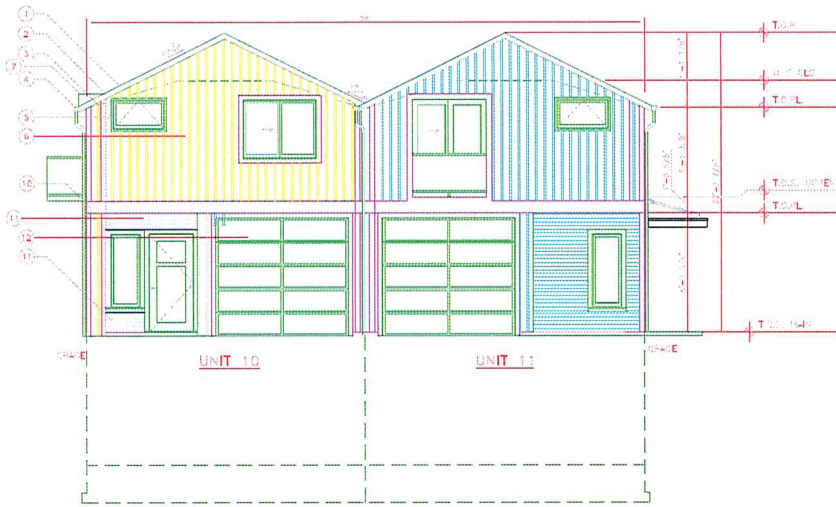
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**KULWULTON MULTI FAMILY**  
 1534 EXTENSION ROAD  
 NANAIMO, BC

Project	BUILDING 3 ELEVATIONS	Sheet	A3-3
Date	31AUG2020	Scale	1/4" = 1' 0"

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**DP 1206**  
**2021-AUG-27**  
 Current Planning

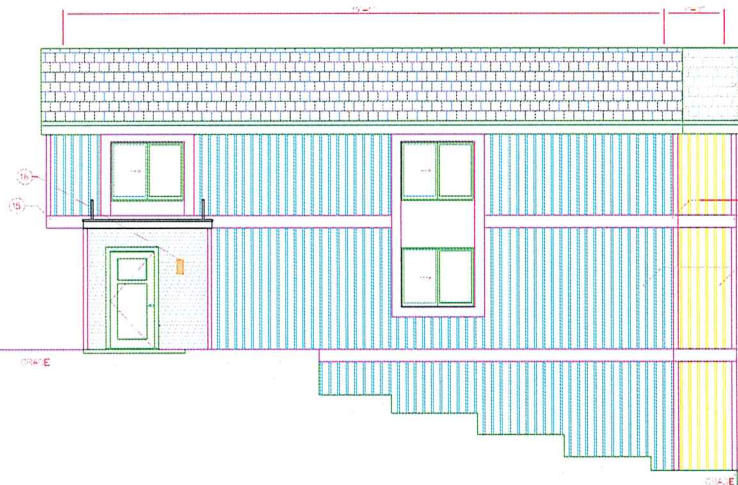




FRONT ELEVATION - DUPLEX - BUILDING 4



REAR ELEVATION - DUPLEX - BUILDING 4



SIDE ELEVATION - DUPLEX - BUILDING 4



SIDE ELEVATION - DUPLEX - BUILDING 4

- General Notes
- MATERIAL LIST**
- 1 ASPHALT ROOFING
  - 2 COMBED FACE FIBRE
  - 3 TRUSS ASSEMBLY BEYOND
  - 4 ALUM. GUTTER &
  - 5 DOWNSPOUT
  - 6 VINYL WINDOW
  - 7 VERTICAL VINYL SIDING
  - 8 STEEL FRAME BLENETTE
  - 9 ALUMINUM RAILING
  - 10 TEMPERED GLASS
  - 11 COMBED FACE TYP
  - 12 CEILING HORIZONTAL LAP SIDING
  - 13 INSULATED GARAGE DOOR
  - 14 HARDIE BOARD PANEL
  - 15 EXPOSED CONCRETE FOUNDATION
  - 16 PL-GR METAL SHEATH
  - 17 WALL MOUNTED LAMP

2	DP RECOMMENDATION	12/23
1	DP SUBMISSION	8/31
No.	Author/Reviser	Rev.

**Boehm CONSTRUCTION**

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250-567-7116

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MULTI FAMILY  
1534 EXTENSION ROAD  
NANAIMO, BC

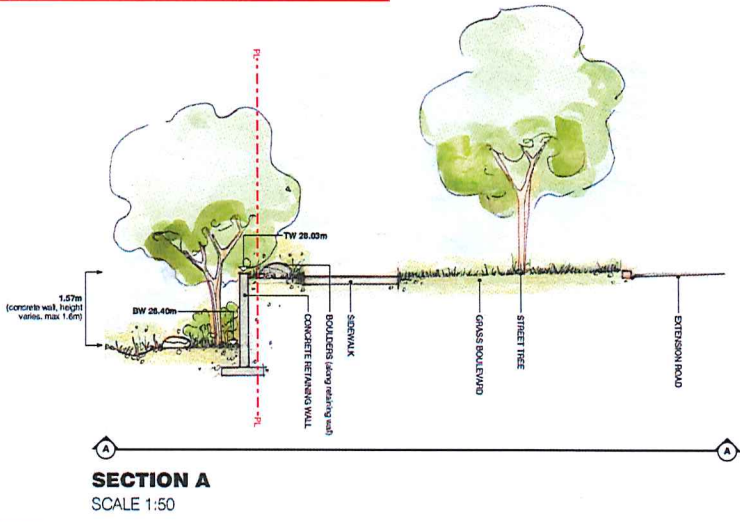
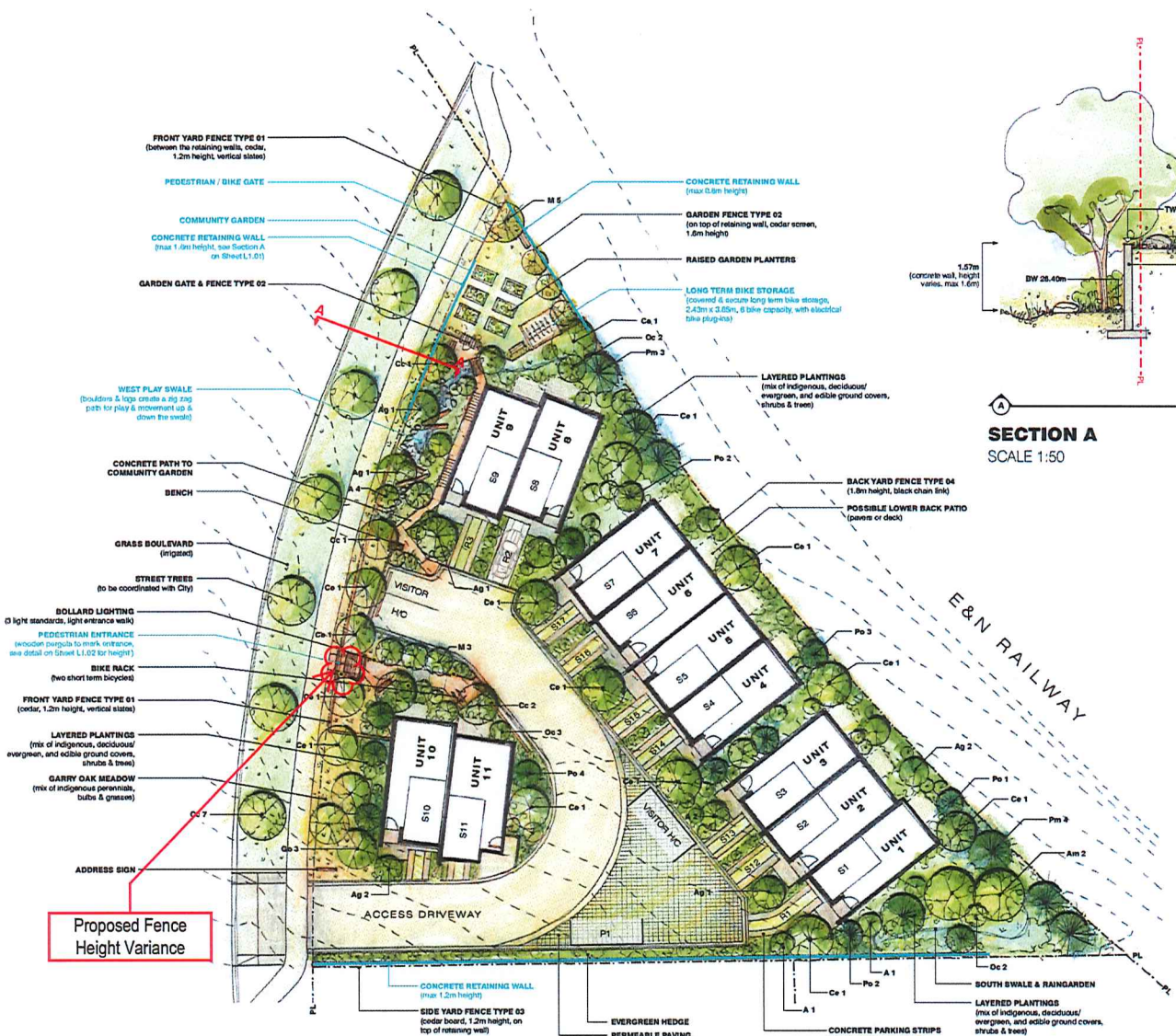
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Scale	1/4" = 1' 0"		

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**DP1206**  
**2021-AUG-27**  
Current Planning

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Development Permit No. DP001206 Schedule D  
 1534 Extension Road  
**LANDSCAPE PLAN AND DETAILS**



**PARKING & BICYCLE SCHEDULE**

PARKING SPACES	24 Total
REGULAR CAR (2.75m x 5.8m) Labelled R1-R3 on plan	3
PARALLEL PARKING (2.5m x 6.4m) Labelled P1 on plan	1
SMALL CAR (2.5m x 4.6m) Labelled S1-S16	17
H/C ACCESSIBLE (3.7m x 5.6m)	1
VISITOR H/C (3.7m x 5.6m)	1
VISITOR PARKING (2.75m x 5.8m)	1
<b>BICYCLE SPACES</b>	<b>8 Total</b>
LONG TERM (in bike storage shed)	6
SHORT TERM (visitor)	2

**LANDSCAPE PLAN**  
SCALE 1:200

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**DP1216**  
 2021-SEP-15  
DESIGN PLANNING

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 e: kate.stefuk@gmail.com

**CLIENT**  
**CHRIS CATHERS**  
 EVOLUTION BUSINESS MEDIA GROUP  
 2620 Southside Road  
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 t: 250-740-1844  
 e: chris@evolutionbusiness.ca

NO. | DATE | ISSUE

NO. | DATE | REVISION

**PROJECT**  
**KULUWOLTON MULTI FAMILY**  
 1534 Extension Road  
 Nanaimo, BC

**LANDSCAPE PLAN**

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**PROJECT**  
 DB KS 20003 CB KS

**SCALE** 1:200  
**DATE** July 17, 2020

**L1.01**



## DESIGN PRECEDENTS



01 Indigenous Edible Plants



02 Evergreen Groundcovers



03 Garry Oak Meadow



04 Paving Steps



05 Bollard Site Lighting



06 Benches



07 Pedestrian Entrance Pergola



08 Garden Gate & Fence Type 02



09 Front Yard Fence Type 01



10 Community Garden



11 Play Swale



12 Play Swale

## DESIGN RATIONALE

### CONTEXT

The parcel at 1534 Extension Road lies on the edge between suburban and rural landscapes in South Nanaimo. Currently home to a single dwelling, the site has been rezoned to R6, allowing for higher density, multi-family residential development. The proposed 11-unit development is situated in a landscape designed to support young families with an emphasis on food security, playful features, a strong human scale, and enhancing the ecological function of the urban environment.

### DESIGN CONCEPT

The design concept for 1534 Extension Road is to elevate the relationships between people, place and planting into a functional urban ecosystem that helps create local community.

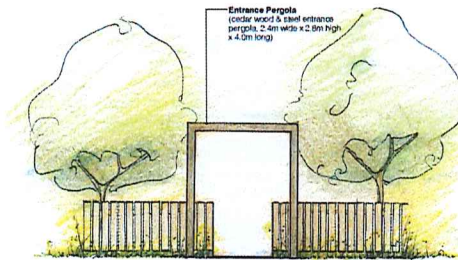
- As an expression of the local environment, the planting plan is structured around a foundation of indigenous species that form a shady coastal forest, an open meadow environment, and a vegetated swale for rainwater.
- Fruit trees, food plants and community gardens foster participation in the landscape, interaction with neighbours and provide food for birds, insects and people.

- Complementary drought-tolerant ornamentals add character and resilience, and perform vital ecosystem functions necessary to support human life and biodiversity.
- Informal playful elements are integrated throughout the site for interest, energy and creativity.

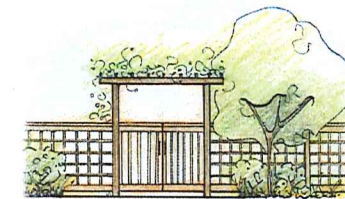
### Other key landscape features include:

- Sidewalks and pathways connect seating areas and outdoor rooms to provide valuable outdoor refuges and gathering spaces for residents.
- Street trees and vegetated buffers provide screening and shading for structures, enhance the pedestrian experience and contribute to rainwater management and habitat value.
- A prominent entry feature on Extension Road provides a transition from public to private communal space, creating a welcoming, human-scaled environment.
- Driveway strips and permeable hardscaping allow for increased rainwater infiltration.
- A vegetated swale adjacent to Extension Road that integrates play features including stepping stones and climbing logs unites infrastructure, activities and local ecology.
- Plantings are communities of compatible indigenous, ornamental and productive species that cover the ground in lush, interlocking layers that offer visual interest and structural diversity.

## DESIGN DETAILS



Pedestrian Entrance (2.8m height) & Front Yard Fence Type 01 (1.2m height)



Garden Gate & Fence Type 02 (1.6m height)

## PLANT PALETTE

Key	Botanical Name	Common Name
<b>Evergreen / Coniferous Trees</b>		
Po	<i>Picea omorika</i> bruns	Serbian Spruce
Pm	<i>Pseudotsuga menziesii</i>	Douglas Fir
<b>Deciduous Trees</b>		
Am	<i>Acer macrophyllum</i>	Big Leaf Maple
As	<i>Acer griseum</i>	Paper Bark Maple
A	<i>Amelanchier Autumn Brilliance</i>	Saskatoon Berry
Co	<i>Cercis canadensis</i> 'Forest Pansy'	Red Bud
Co	<i>Cornus alba</i> white wonder	Edgely White Wonder Dogwood
DC	<i>Oemleria caesiiformis</i>	June Plum
MI	<i>Malus fusca</i>	Pacific Crab Apple
M	<i>Malus</i> / <i>Prunus</i>	Fruit Tree
Q	<i>Quercus garryana</i>	Garry Oak
<b>Evergreen Shrubs</b>		
Au	<i>Arctostaphylos</i>	Strawberry Bush
Gr	<i>Gaultheria shallon</i>	Sail
Mn	<i>Mahonia nervosa</i>	Dull Oregon Grape
Tp	<i>Thuja plicata</i> Excelsa	Excelsa Red Cedar
Vo	<i>Vaccinium ovatum</i>	Evergreen Huckleberry
<b>Deciduous Shrubs</b>		
Co	<i>Cornus sericea</i>	Red Tain Dogwood
Hd	<i>Holodiscus discolor</i>	Oceanspray
Ra	<i>Ribes sanguineum</i>	Red Flowering Currant
Sa	<i>Symphoricarpos albus</i>	Snowberry
V	<i>Vaccinium</i>	Blueberry
<b>Groundcovers</b>		
Ac	<i>Achlys triphylla</i>	Vanilla Leaf
Au	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick
Fc	<i>Fragaria chiloensis</i>	Coastal Strawberry
IS	<i>Trifolium ovatum</i>	Western Trifolium
<b>Ferns</b>		
De	<i>Chytaria erythrocarpa</i>	Aulum Fern
Pg	<i>Polypodium glycyrrhiza</i>	Licorice Fern
Pm	<i>Polystichum muntonum</i>	Sword Fern
<b>Meadow</b>		
Am	<i>Achillea millefolium</i>	Yarrow
Ac	<i>Allium cernuum</i>	Nodding Onion
Cq	<i>Commissula guianensis</i>	Common Canna
Ca	<i>Caractium arvense</i>	Field Chickweed
Pc	<i>Plectritis congesta</i>	Sea Bush
Th	<i>Thlasia hysadrifera</i>	Foot's Onion
<b>Swale</b>		
Co	<i>Carex obovata</i>	Slough Sedge
Im	<i>Iris missouriensis</i>	Western Blue Flag
Sm	<i>Scirpus microcarpus</i>	Small Flowered Bulrush
<b>Seeds</b>		
Wild Grass Area:	Pickseed Garry Oak Upland Mix or equivalent	85% Roemera Fescue 11% California Outgrass

## KATE STEFIUK STUDIO

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### CLIENT

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### NO. | DATE | ISSUE

1	08-26-20	DP SUBMISSION
2	11-26-20	DP PRESENTATION
3	05-07-21	DP PRELIMINARY
4	08-16-21	DP PRELIMINARY
5	09-27-21	DP PRELIMINARY

### NO. | DATE | REVISION

### PROJECT

## KULUWOLTON MULTI FAMILY

1534 Extension Road  
Nanaimo, BC

## LANDSCAPE PLAN

DESIGN PRECEDENTS  
DESIGN RATIONALE  
PLANT PALETTE

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PROJECT 20003  
DB KS CB KS

SCALE NTS  
DATE July 17, 2020

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DP 1216  
2021-SEP-15  
Current Planning

L1.02